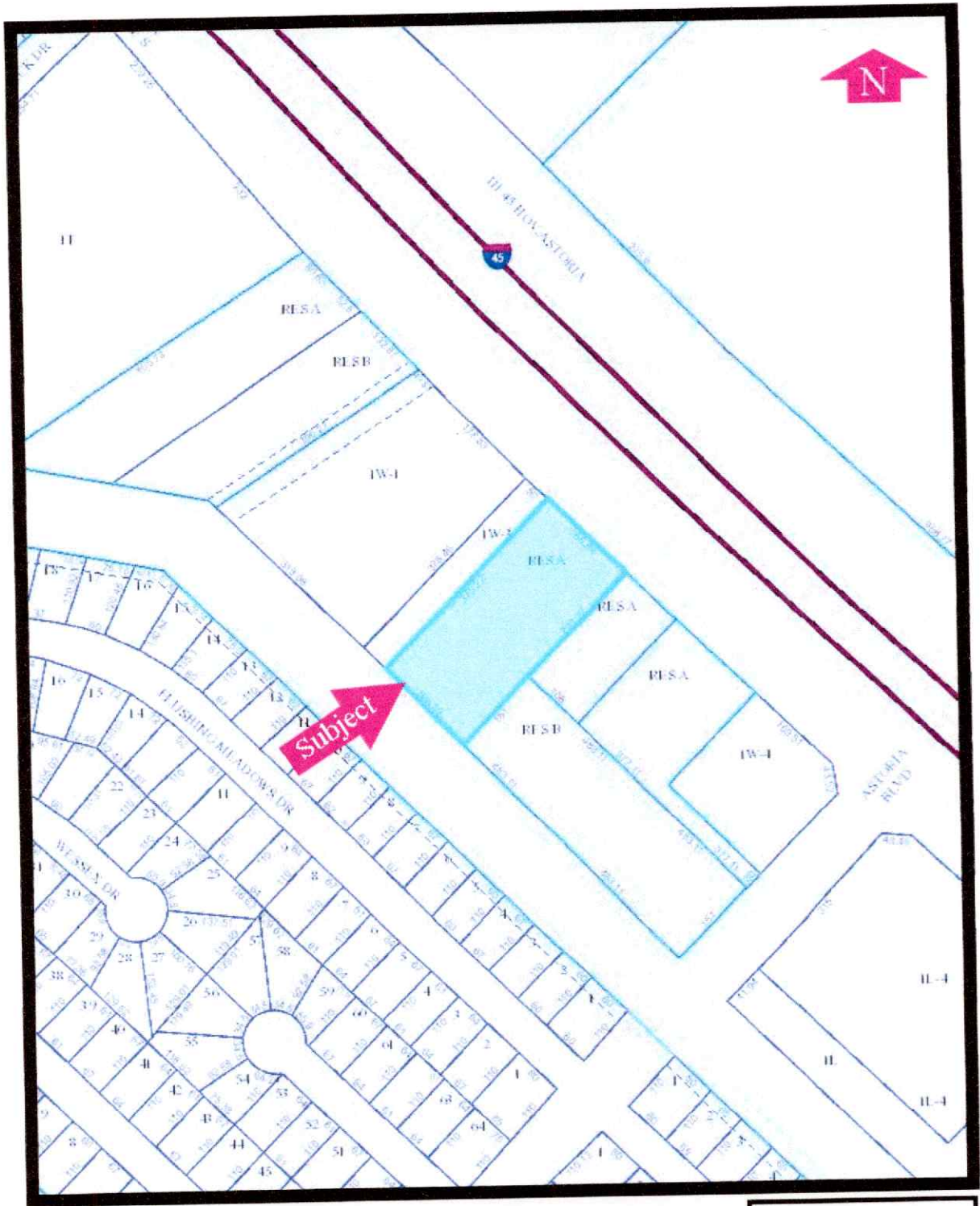


The subject property is improved with a medical office. The building is divided into two units. The front unit is a medical office occupied by a tenant and measures 5,548 square feet. It is comprised of a reception area, exam rooms, offices, lab, restrooms, break room, and a utility room. The rear unit measures 4,092 square feet and is comprised of unfinished shell space with concrete flooring, and exposed wooden walls and ceiling. We have estimated the costs to complete the shell space with the proposed dental office to be \$50 per square foot. Additionally, there is a 1,147 square foot metal canopy for covered parking. The size of the improvements were obtained from the appraiser's measurements. The following table provides a detailed description of the improvements.

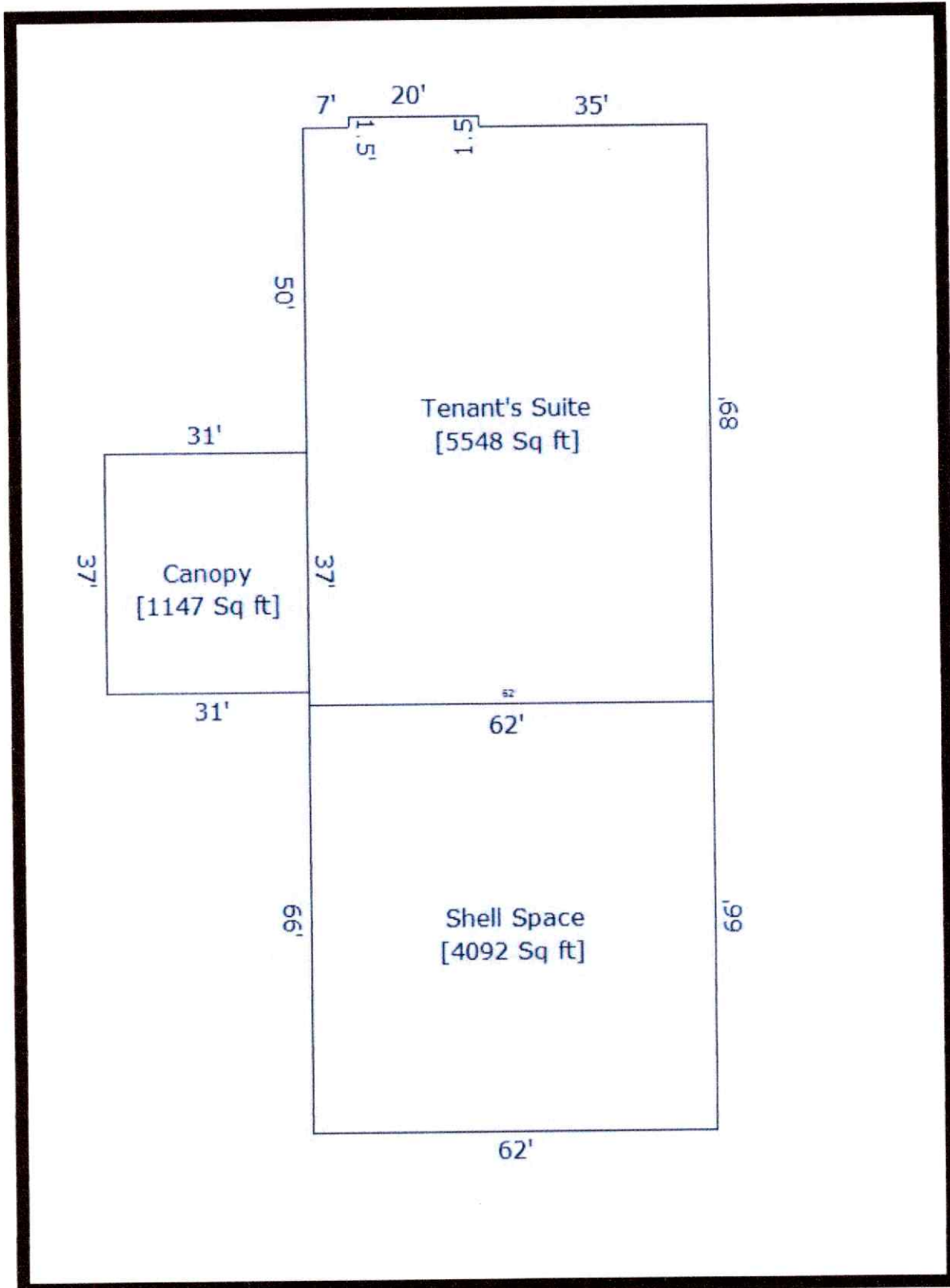
BUILDING SUMMARY	
Item	Subject Building
IMPROVEMENT CHARACTERISTICS	
Building Description	Medical Office
Number of Stories	1.00
Rentable Area (Sq. Ft.)	9,640
STRUCTURAL CHARACTERISTICS	
Foundation	Poured concrete slab
Frame	Wooden frame
Construction	Stucco
Exterior Walls	Stucco
Roof Type	Gable
Roof Cover	Metal
INTERIOR CHARACTERISTICS	
Floor Covering	Carpet, linoleum, tile
Interior Walls	Painted drywall
Ceiling Cover	Acoustic ceiling panels
Interior Lighting	A mix of fluorescent and incandescent lighting
Restrooms	4
MECHANICAL SYSTEMS	
Electrical	Assumed to be installed per code
Plumbing	Assumed to be installed per code
Heating	HVAC system throughout the completed space
Cooling	HVAC system throughout the completed space
AGE/LIFE	
Year Built	2010
Effective Age	10
Total Economic Life	50
Remaining Economic/Useful Life	40
Condition	Average
RATIOS & PARKING	
Land-to-Building Ratio	6.48 to 1
OTHER IMPROVEMENTS	
	Concrete paving, landscaping, exterior lighting, signage, 1,147 square foot metal canopy, and detention pond

An analysis of the subject site is particularly important in determining its highest and best use and for separate valuation from the improvements. A proposed floorplan for the shell space was provided by the borrower. A plat map and aerial were obtained from the Harris County Appraisal District. The following table provides a detailed description of the most important factors that pertain to the subject site.

Site Analysis Summary		
A 9,640 Square Foot Medical Office		
DESCRIPTION		
Size	1.4340 Acres	62,465 Sq. Ft.
Legal Description	Reserve A, Block 1, Moon-Patel Subdivision, Houston, Harris County, Texas	
LOCATION		
Location	Southwest line of the Gulf Freeway, southeast of Scarsdale Boulevard	
Address	14262 Gulf Freeway, Houston, TX 77034	
PHYSICAL CHARACTERISTICS		
Primary Roadway Frontage	Interstate 45	167 Linear Feet
Site Depth	375 Linear Feet	
Shape	Rectangular	
Topography	Generally level	
Drainage	Well-drained on the date of the site visit	
STREET IMPROVEMENTS		
Primary Roadway Construction	Ten-lane, concrete paved interstate, with a center express lane, and 3-lane service roads, with concrete curbs and gutters	
SURROUNDINGS		
Adjacent North	Office	
Adjacent East	Church	
Adjacent South	Retail	
Adjacent West	Residential	
FLOOD		
FloodMap Panel No.	48201C1055L	
Flood Zone	AE (100%)	
UTILITIES TYPE		
Water	City of Houston	
Sewer	City of Houston	



PLAT MAP



BUILDING FOOTPRINT